

THE MAULDIN CULTURAL CENTER PHASE 1

MAULDIN
CULTURAL
CENTER
PHASE - 1
RENOVATIONS



Neal Prince

LS3P ASSOCIATES LTD.
110 West North Street, Suite 300
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DESIGN TEAM

OWNER:

THE CITY OF MAULDIN
P.O. BOX 241
MAULDIN, SC 29662

ARCHITECT:

LS3P / NEAL PRINCE ARCHITECTS
110 WEST NORTH ST.,
GREENVILLE, SC 29601
PH: (864) 235-0405

STRUCTURAL ENGINEER:

ARROWOOD AND ARROWOOD
714 LOWMEDES HILL ROAD
GREENVILLE, SC 29607
PH: (864) 233-4383

MECHANICAL/PLUMBING ENGINEER:

W.G. BARTLETT ENGINEERING SYSTEMS
144 PARIS GLENN WAY
GREENVILLE, S.C., 29604
PH: (864) 354-3416

ELECTRICAL ENGINEER:

BURDETTE ENGINEERING, INC.
102 PILGRIM ROAD
GREENVILLE, SC 29607
PH: (864) 241-8117

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AUDIOVISUAL

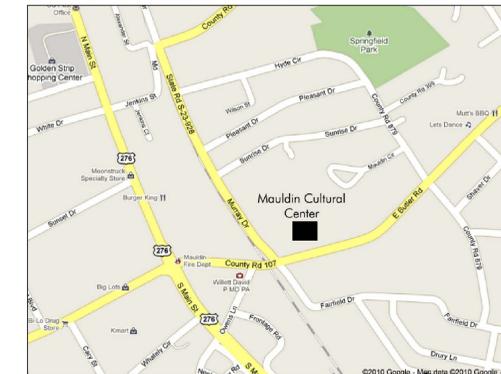
AV6 I-1	AUDIO VISUAL
AV I-1	AUDIO VISUAL

STANDARD SYMBOLS

	1 HR. WALL
	2 HR. WALL
	3 HR. WALL
	WALL TYPE TAGS
	DOOR NUMBER TARGET
	WINDOW TARGET
	ROOM NUMBER TARGET
	BUILDING SECTION/ELEVATION TARGET
	INTERIOR ELEVATION TARGET
	REVISION
	SOUND INSULATED
	ELEVATION SYMBOL
	COLUMN LINE GRID
	DETAIL REFERENCE

PROJECT LOCATION

N.T.S.



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COVER SHEET

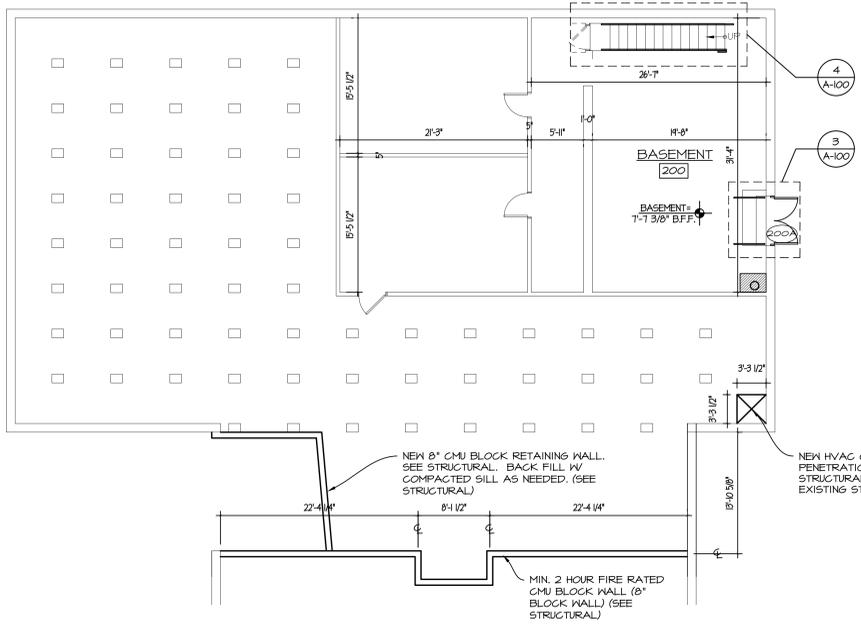
T-100

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

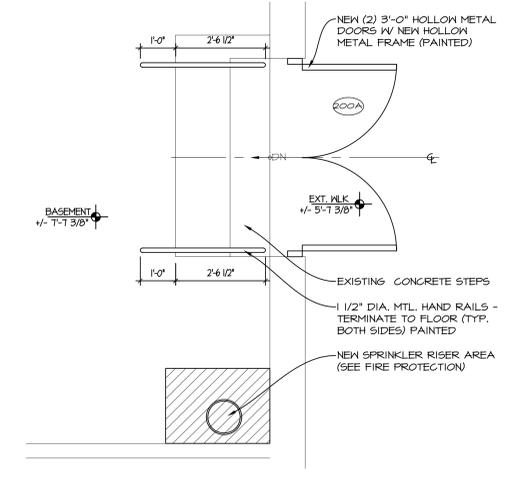
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GENERAL NOTES:

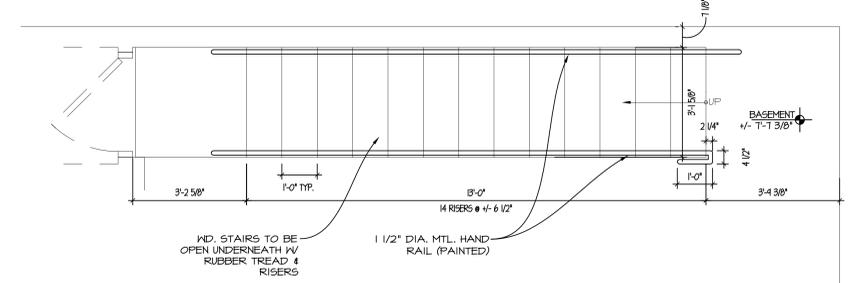
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO BE TO COLUMN CENTERLINE, FACE OF EXTERIOR WALL FINISH, CENTERLINE OF STUDS AT INTERIOR WALLS. DIMENSIONS FOR OPENINGS WILL BE FROM FACE OF WALL TO EDGE OF OPENING UNLESS OTHERWISE NOTED.
- ALL FIRE AND/OR SMOKE RATED PARTITIONS SHALL EXTEND FROM FINISH FLOOR TO WHERE IT MAY BE SEALED, SUCH AS THE UNDERSIDE OF THE STRUCTURE OR DECK, AND BE ENTIRELY SEALED OFF WITH SAFING MATERIALS AND SHALL BE LABELED FIRE AND/OR SMOKE WALL IN FIRE AND SMOKE BARRIER. PROTECT ALL OPENINGS. STENCIL LOCATION TO BE VERIFIED.
- WALL ACCESSORIES SUCH AS FIRE EXTINGUISHER, CABINETS, PAPER TOWEL DISPENSER, ETC. SHALL BE INSTALLED IN SUCH A MANNER THAT SHALL NOT REDUCE THE FIRE RATINGS OF THE WALL.
- THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE POINTED OUT TO THE ARCHITECT/OWNER.
- ALL PENETRATIONS THROUGH FLOOR SLABS SUCH AS PIPING, CONDUITS, DUCTS, ETC. SHALL BE PACKED AND SEALED WITH FIRE RATED MATERIALS AND SEALED AGAINST WATER PENETRATION.
- ALL WALLS [OR ALL SOUND RATED (STC) WALLS OR PARTITIONS...] SHALL HAVE A CLOSURE GASKET AT TOP BOTTOM, AND SIDES WHERE A SOUND LEAK WOULD OTHERWISE EXIST. ALL PENETRATIONS THROUGH SUCH PARTITIONS SHALL IN THEMSELVES BE GASKETED AND SEALED ALONG THE PENETRATION PERIMETER.
- POLISHED CONCRETE (PC-I) FLOORING TO BE PERFORMED BEFORE INTERIOR WALLS ARE INSTALLED. SEE SHEET A-150 FOR PC-I LOCATIONS AND OTHER FLOORING TYPES. COORDINATE SUB-FLOOR REQUIREMENTS FOR OTHER FLOORING MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- THE GENERAL CONTRACTOR AND HIS REPRESENTATIVES SHALL BE ADVISED THAT ALL SITE AREAS OTHER THAN THE AREAS DESIGNATED FOR REQUIRING WORK SHALL BE "OFF LIMITS". THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING HIS EMPLOYEES WITH TOILET FACILITIES IF PUBLIC FACILITIES ARE NOT AVAILABLE.
- PROVIDE 2X6 BLOCKING AS REQUIRED BEHIND WALL-HUNG ITEMS TO SUPPORT ALL FASTENERS AND ANCHORING DEVICES. REFER TO PLANS FOR MILLWORK AND EQUIPMENT. COORDINATE BLOCKING LOCATIONS W/ OWNER FOR FUTURE WHITEBOARDS OR BULLETIN BOARDS.
- CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNS AS REQUIRED BY LOCAL BUILDING OFFICIAL. WORDING OF SIGN SHALL BE ACCEPTABLE TO AUTHORITY HAVING JURISDICTION. COLOR & DESIGN OF SIGNS TO BE APPROVED BY ARCHITECT.
- ALL GYPSUM BOARD SHALL BE 5/8" (THICK) TYPE "X" MOISTURE RESISTANT.
- ALL WALLS IN OFFICE SPACES, RESTROOMS, DRIVERS AREA, AND THE CONFERENCE ROOM SHALL HAVE SOUND ATTENUATION BLANKETS FROM FINISH FLOOR TO ROOF DECK.
- SEE FINISH SCHEDULE FOR TILE LOCATIONS AND PAINT FINISHES. MOISTURE RESISTANT (MFR) BOARD TO BE USED IN ALL TILE LOCATIONS.
- ALL DOOR OPENINGS WILL BE 4" FROM THE CLOSEST PERPENDICULAR WALL UNLESS NOTED OTHERWISE.



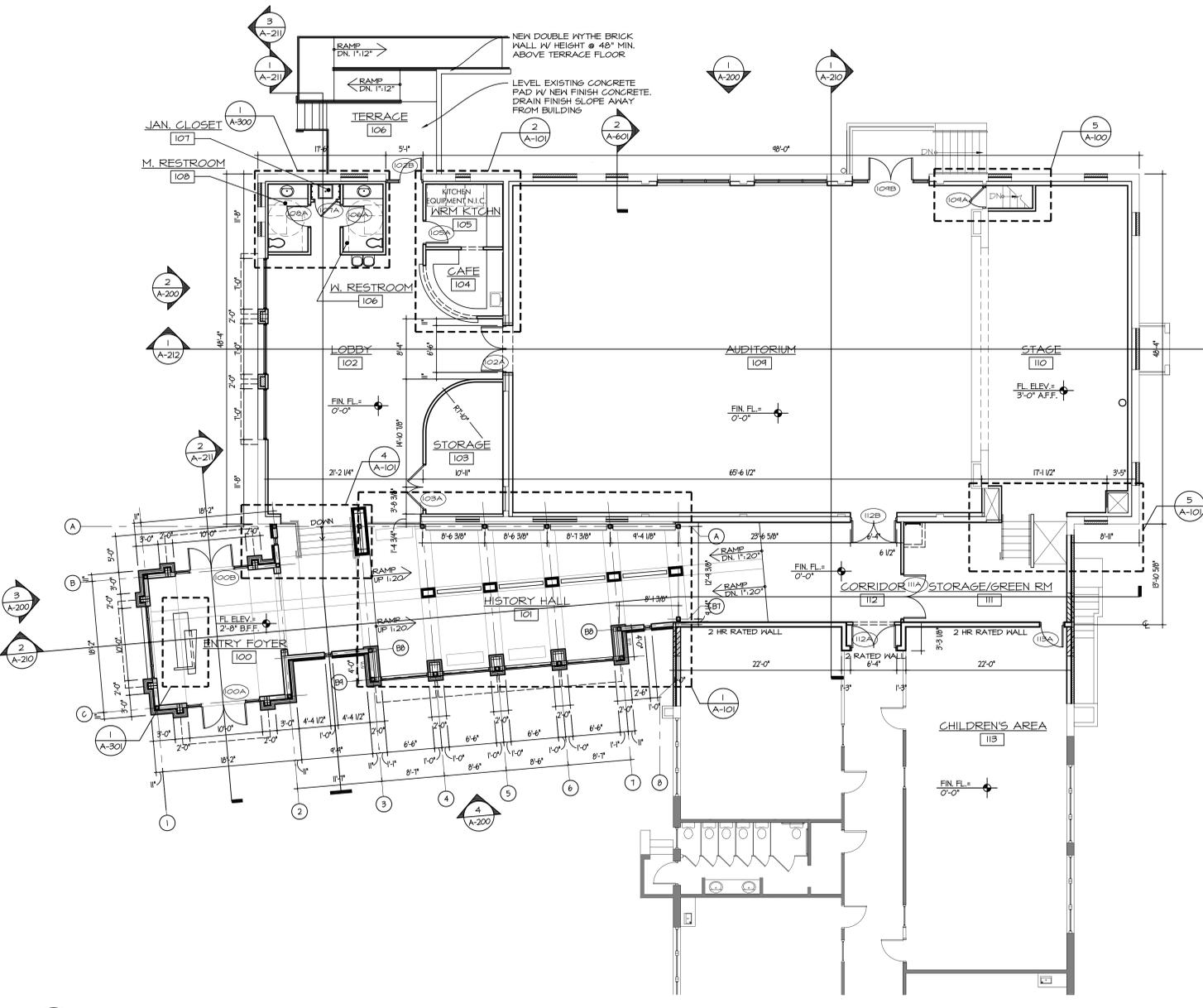
1 A-100 BASEMENT/CRAWL SPACE FLOOR PLAN 1/8"=1'-0"



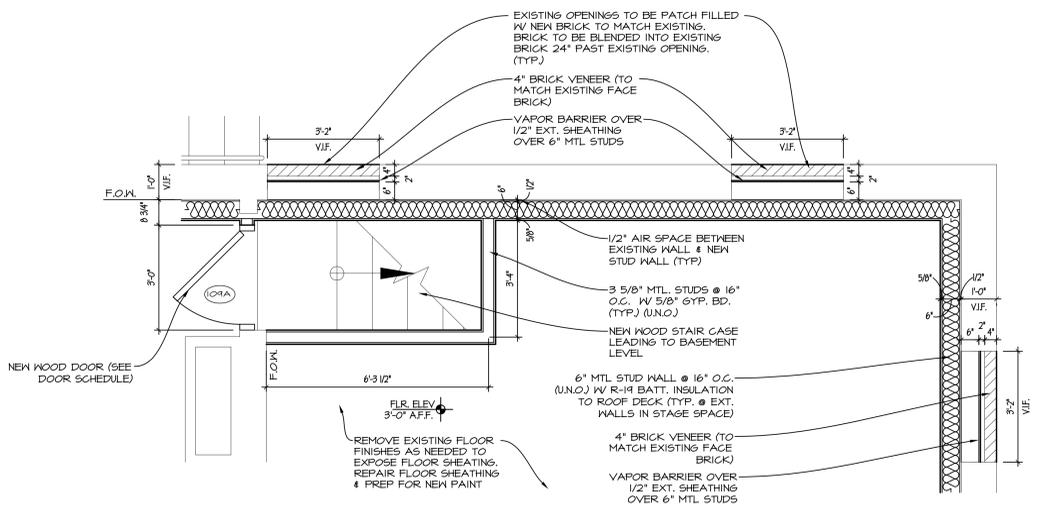
3 A-100 ENLARGED BSMNT DR 1/2"=1'-0"



4 A-100 ENLARGED STAIR PLAN 1/2"=1'-0"



2 A-100 FIRST FLOOR PLAN 1/8"=1'-0"



5 A-100 ENLARGED STAIR PLAN 1/2"=1'-0"

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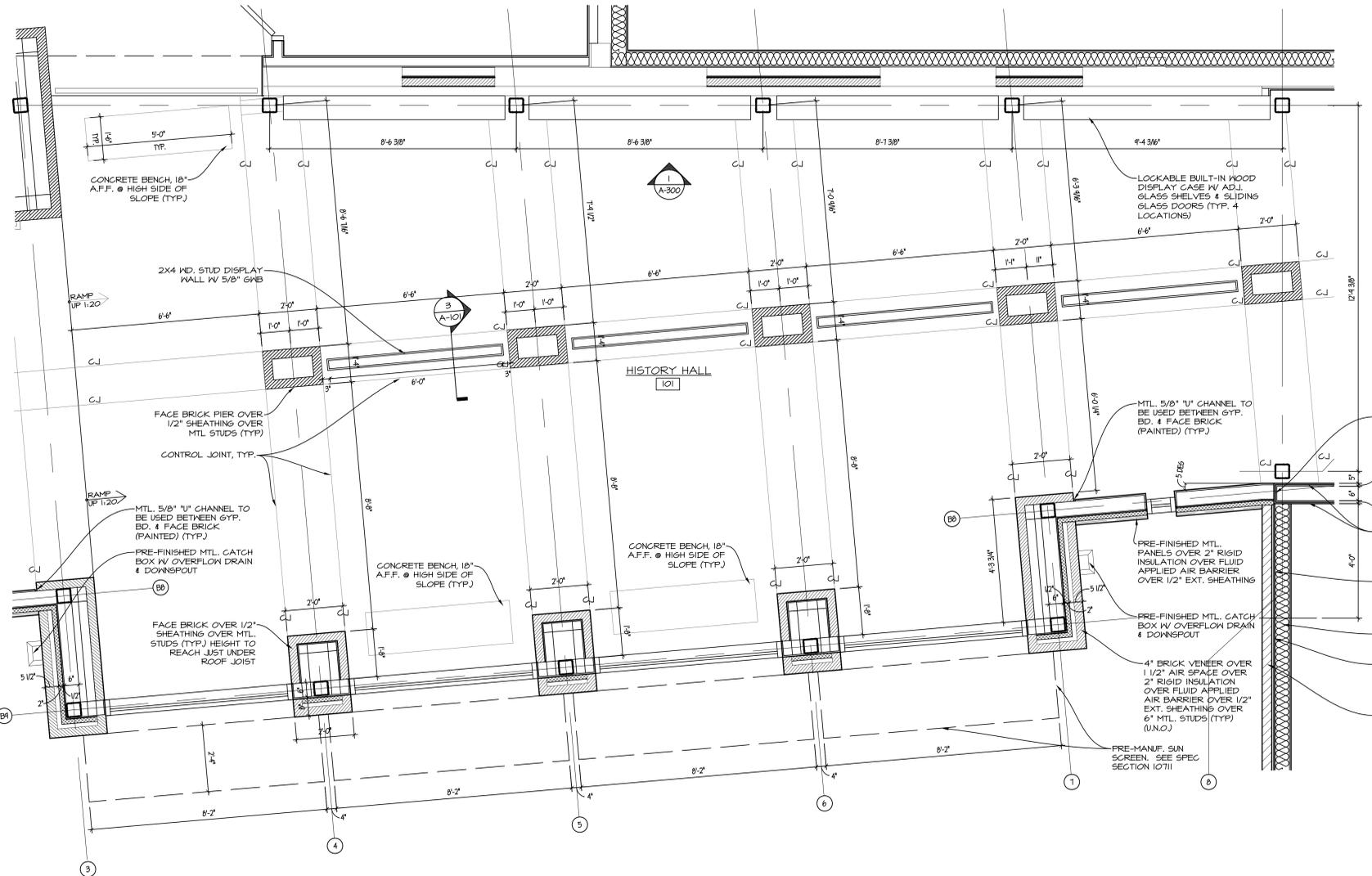
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ENLARGED
FLOOR PLANS

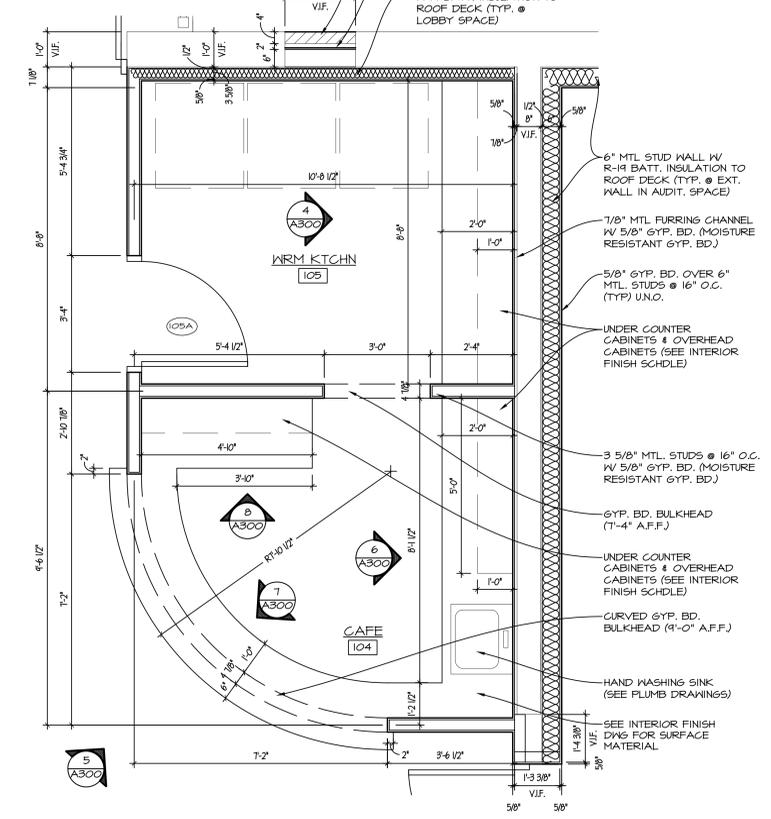
A-101

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

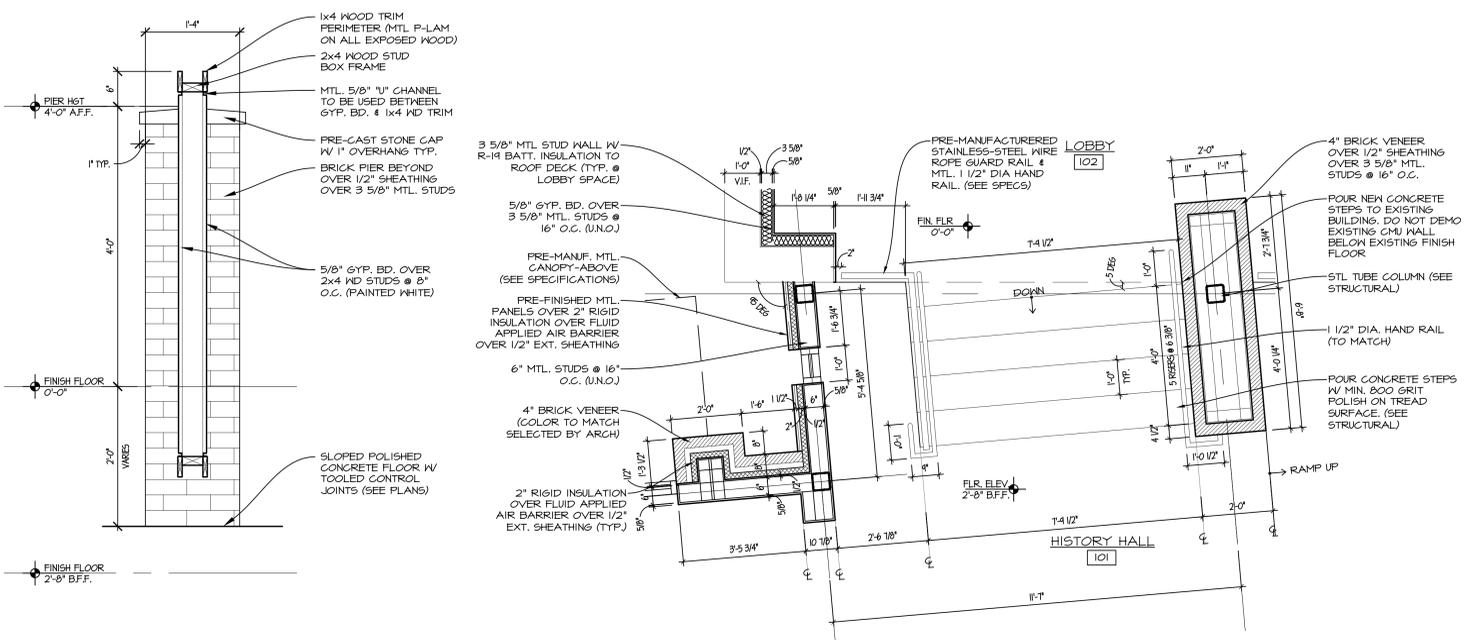
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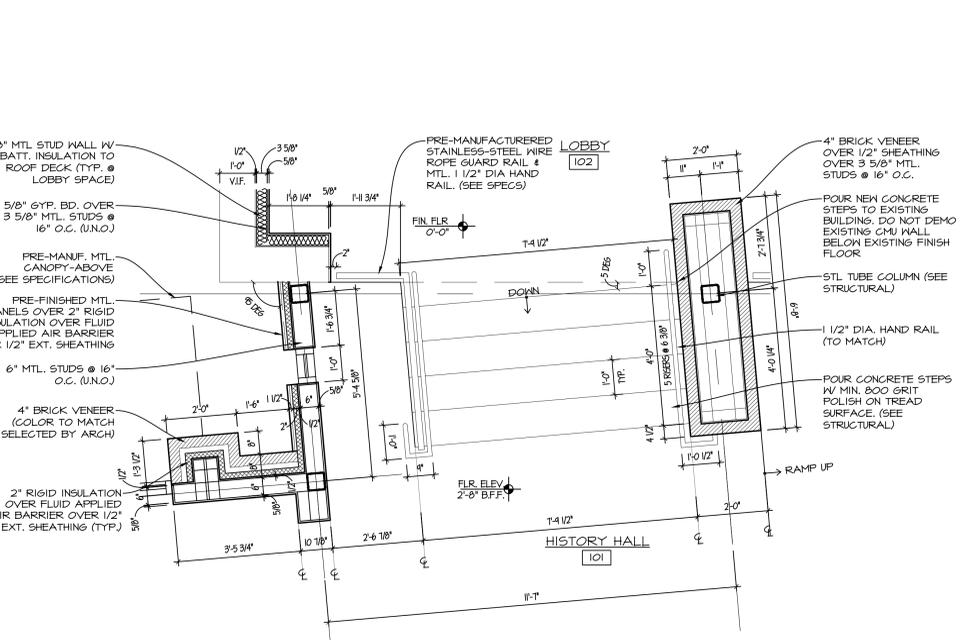
1 A-101 ENLARGED HISTORY HALL PLAN 1/2"=1'-0"



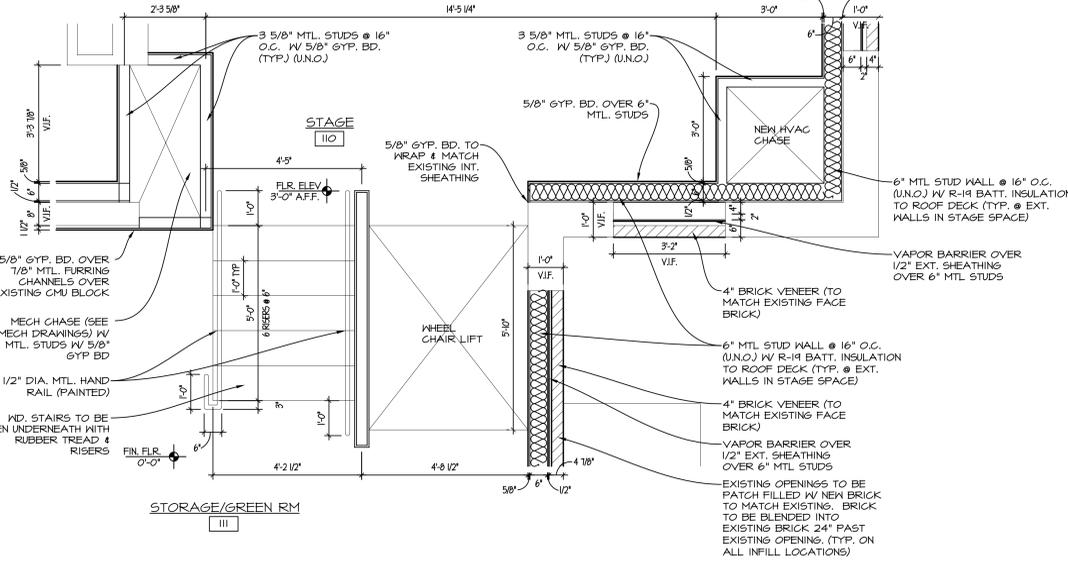
2 A-101 ENLARGED WARMING KITCHEN 1/2"=1'-0"



3 A-101 DISPLAY WALL DTL. 1"=1'-0"



4 A-101 ENLARGED LOBBY STAIR 1/2"=1'-0"



5 A-101 ENLARGED STAIR @ GREEN RM/ STAGE 1/2"=1'-0"



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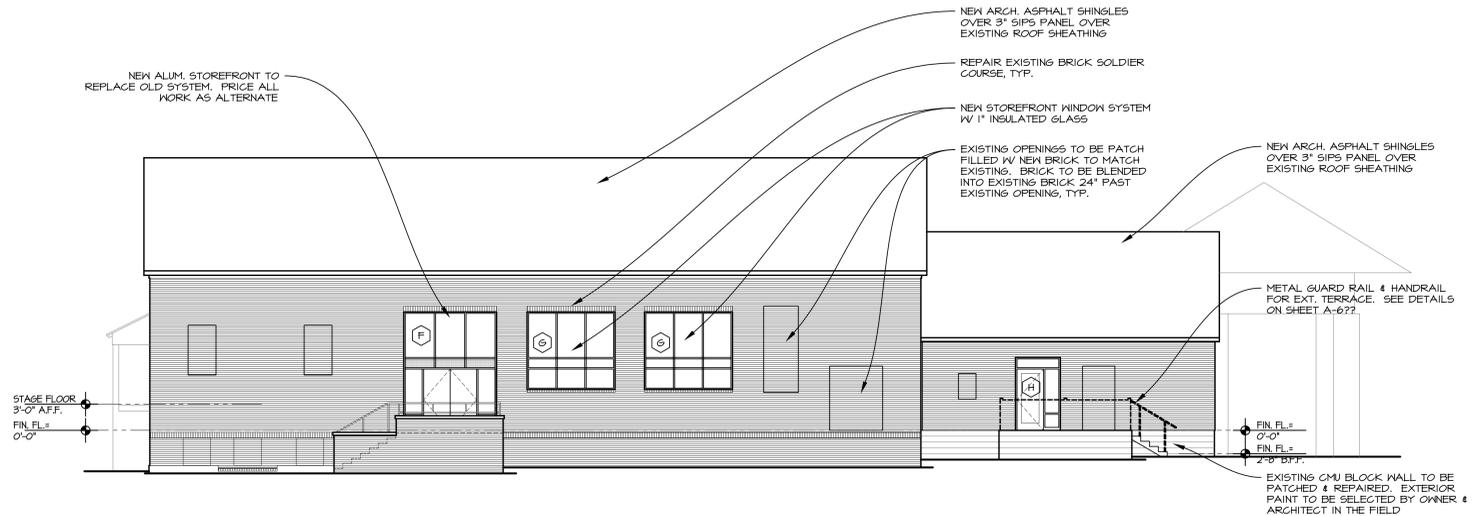
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EXTERIOR
ELEVATIONS

A-200

SOLUTIONS THROUGH LISTENING
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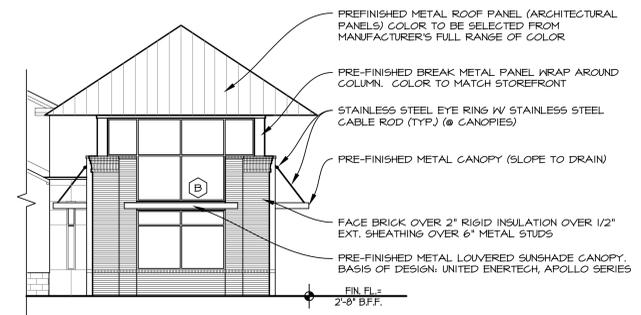
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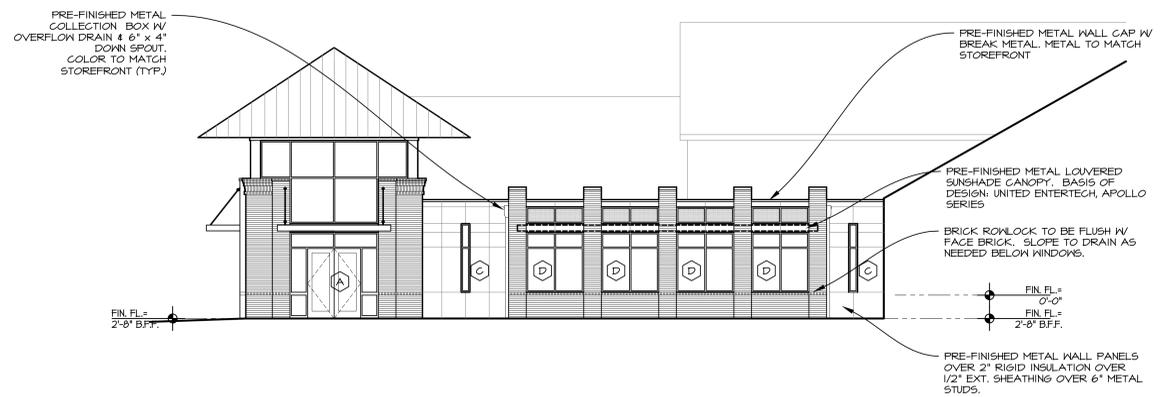
1
A-200 BUILDING ELEVATIONS 1/8"=1'-0"



2
A-200 BUILDING ELEVATIONS 1/8"=1'-0"



3
A-200 BUILDING ELEVATIONS 1/8"=1'-0"



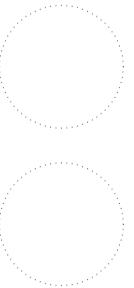
4
A-200 BUILDING ELEVATIONS 1/8"=1'-0"

PRE-FINISHED METAL
COLLECTION BOX W/
OVERFLOW DRAIN & 6" x 4"
DOWN SPOUT.
COLOR TO MATCH
STOREFRONT (TYP.)



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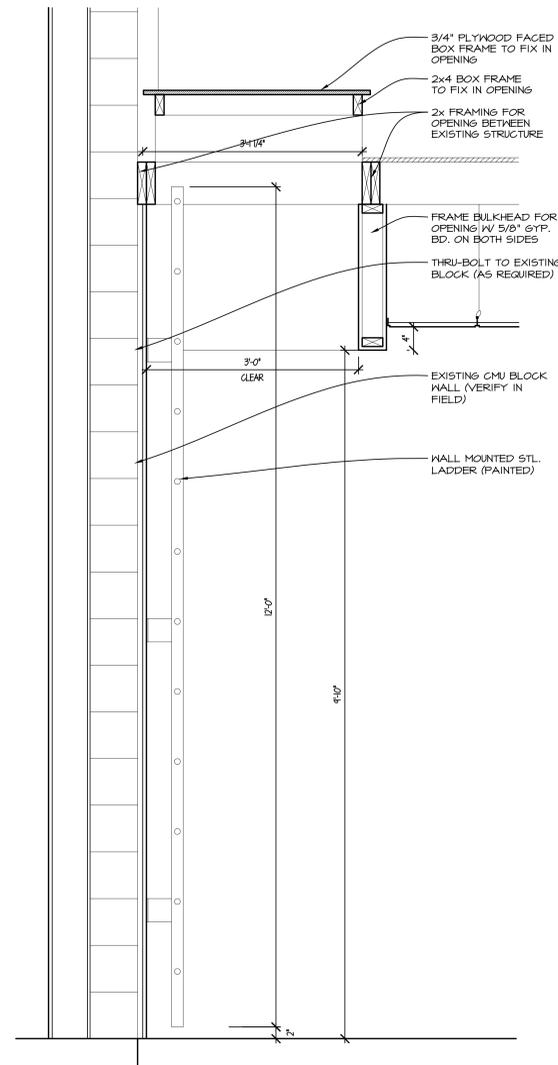
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REFLECTED
CEILING PLAN

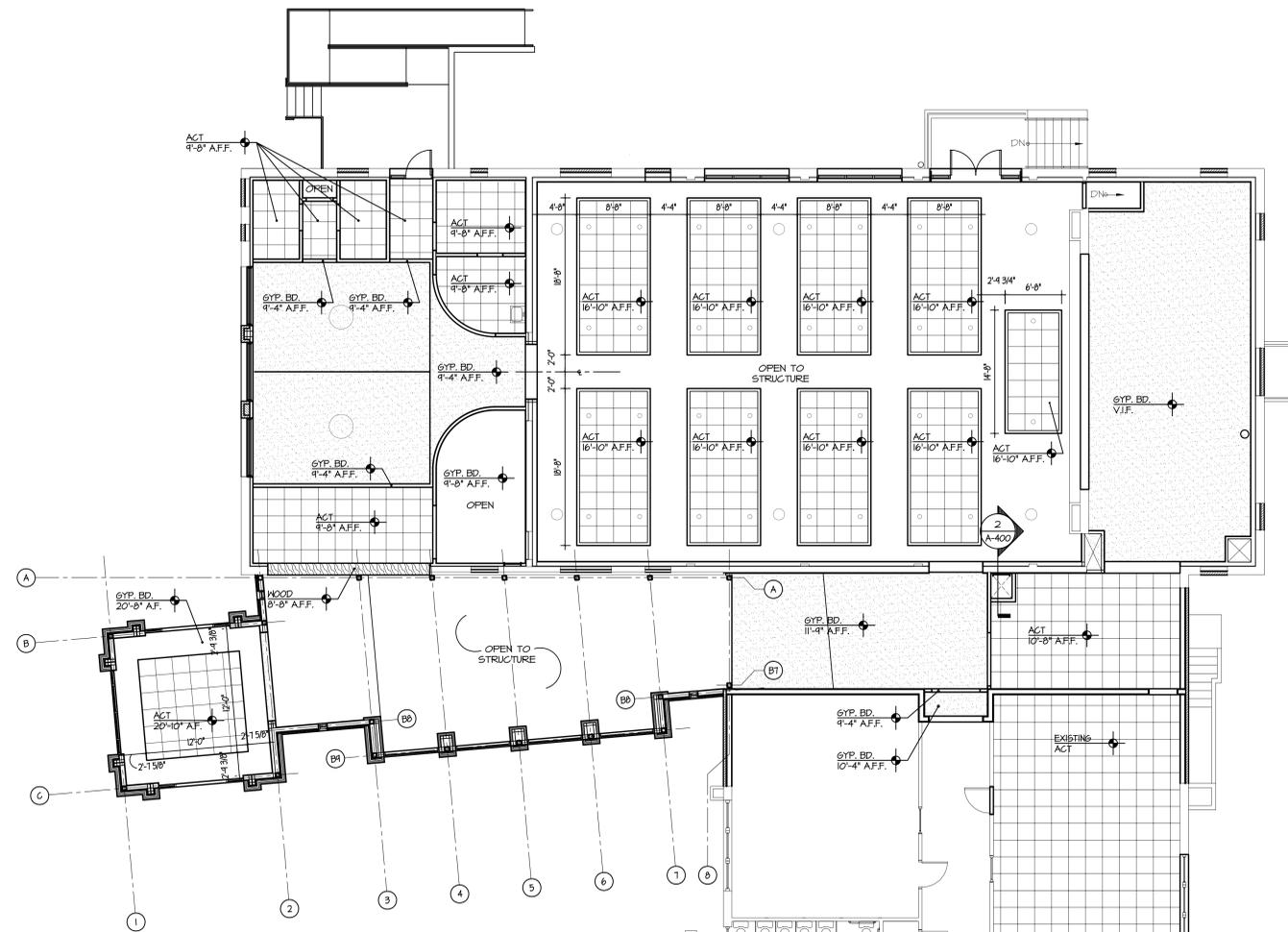
A-400

SOLUTIONS THROUGH LISTENING
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1
A-400
ACCESS LADDER 1"=1'-0"



1
A-400
REFLECTED CEILING PLAN 1/8"=1'-0"



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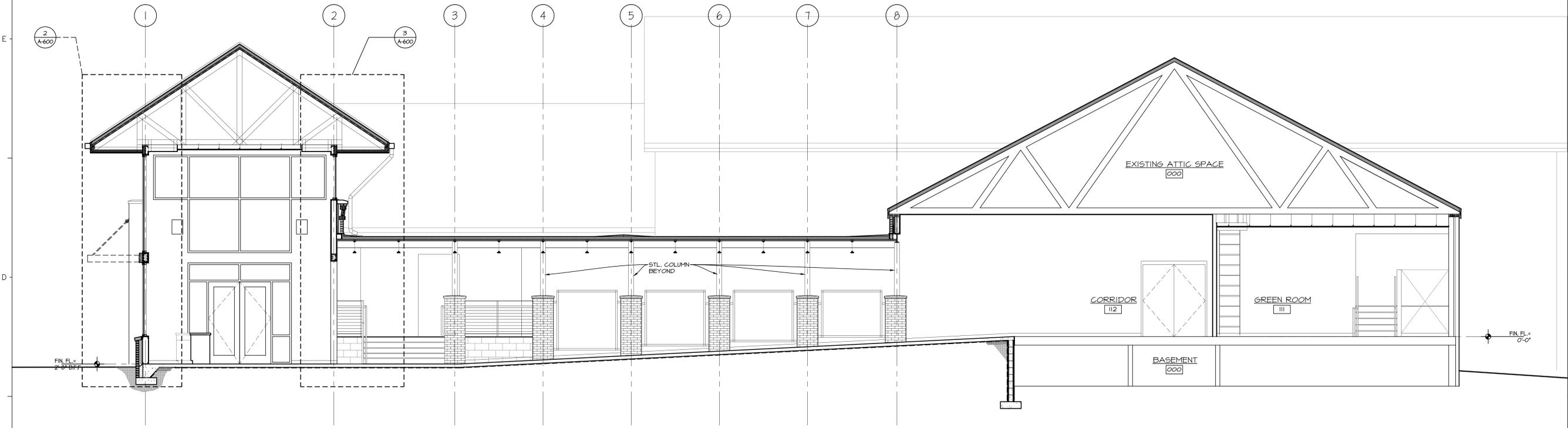
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BUILDING
SECTIONS

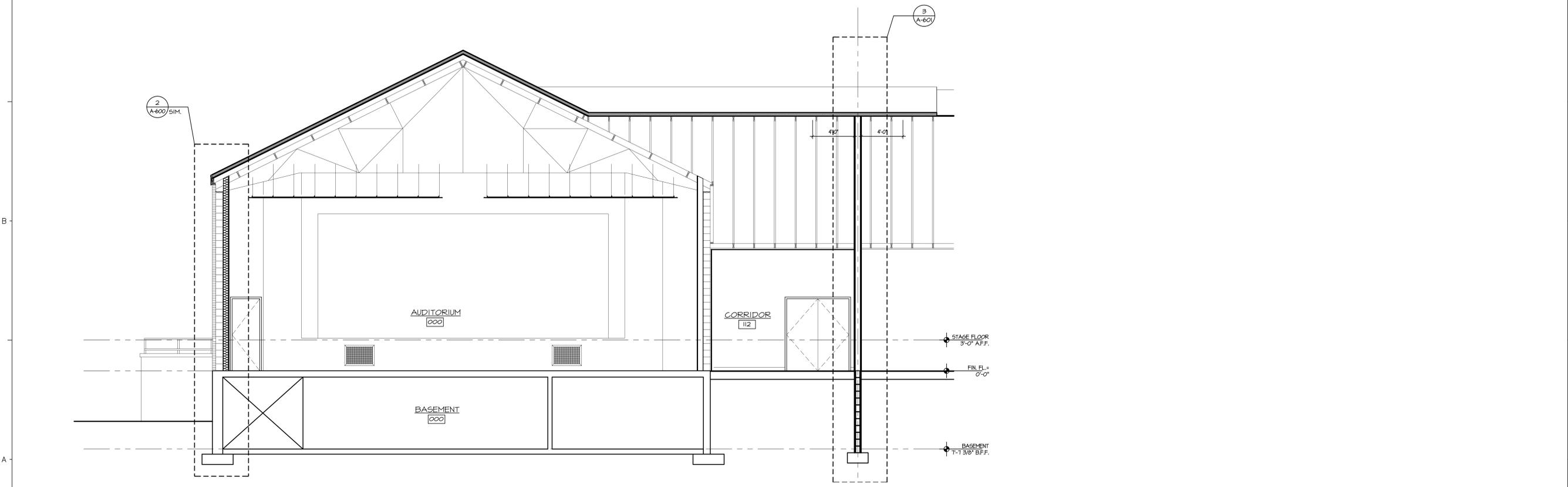
A-210

SOLUTIONS THROUGH LISTENING
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2
A-210 BUILDING SECTION 1/4"=1'-0"



1
A-210 BUILDING SECTION 1/4"=1'-0"



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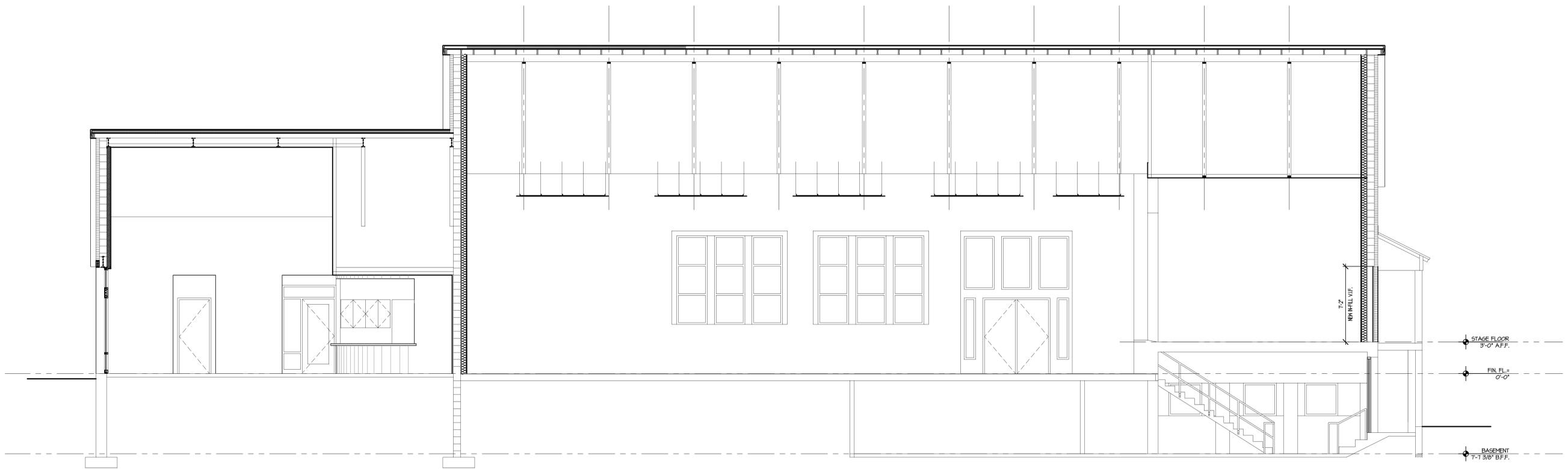
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BUILDING
SECTIONS

A-212

SOLUTIONS THROUGH LISTENING
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BUILDING SECTION 1/4"=1'-0"



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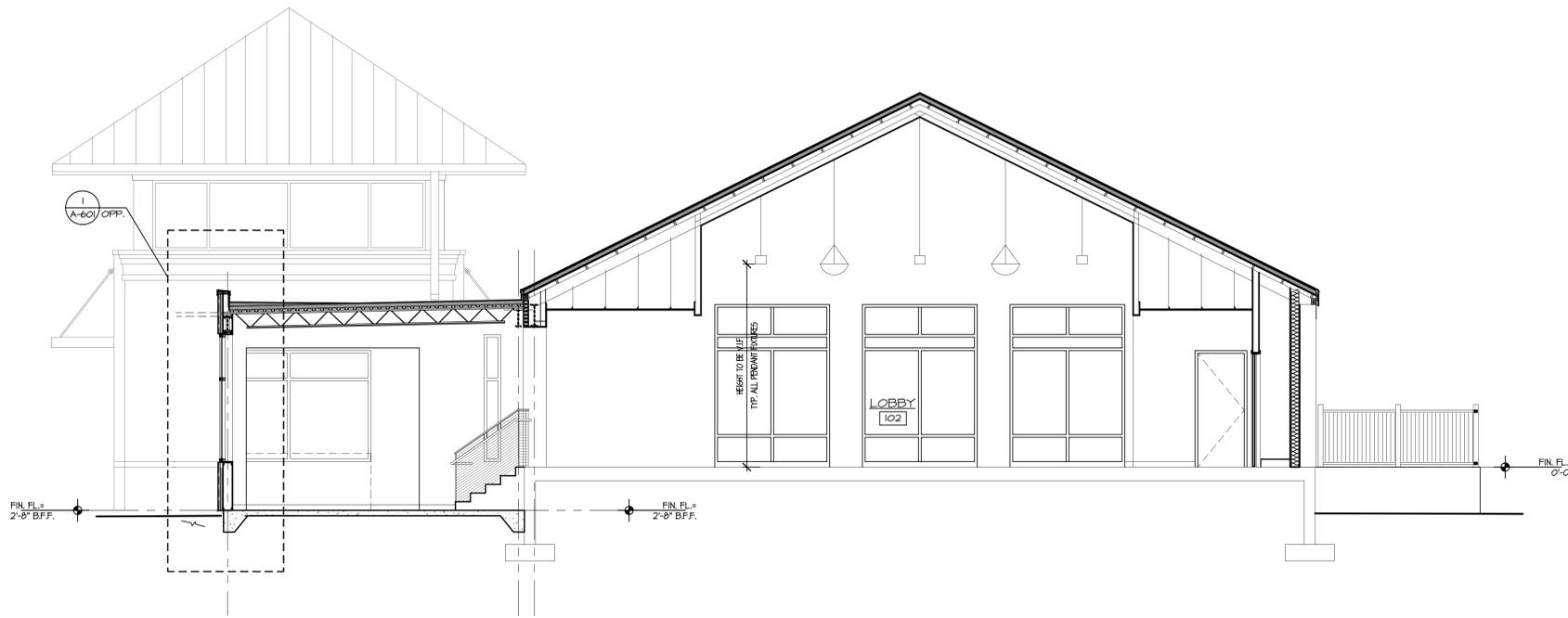
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BUILDING
SECTIONS

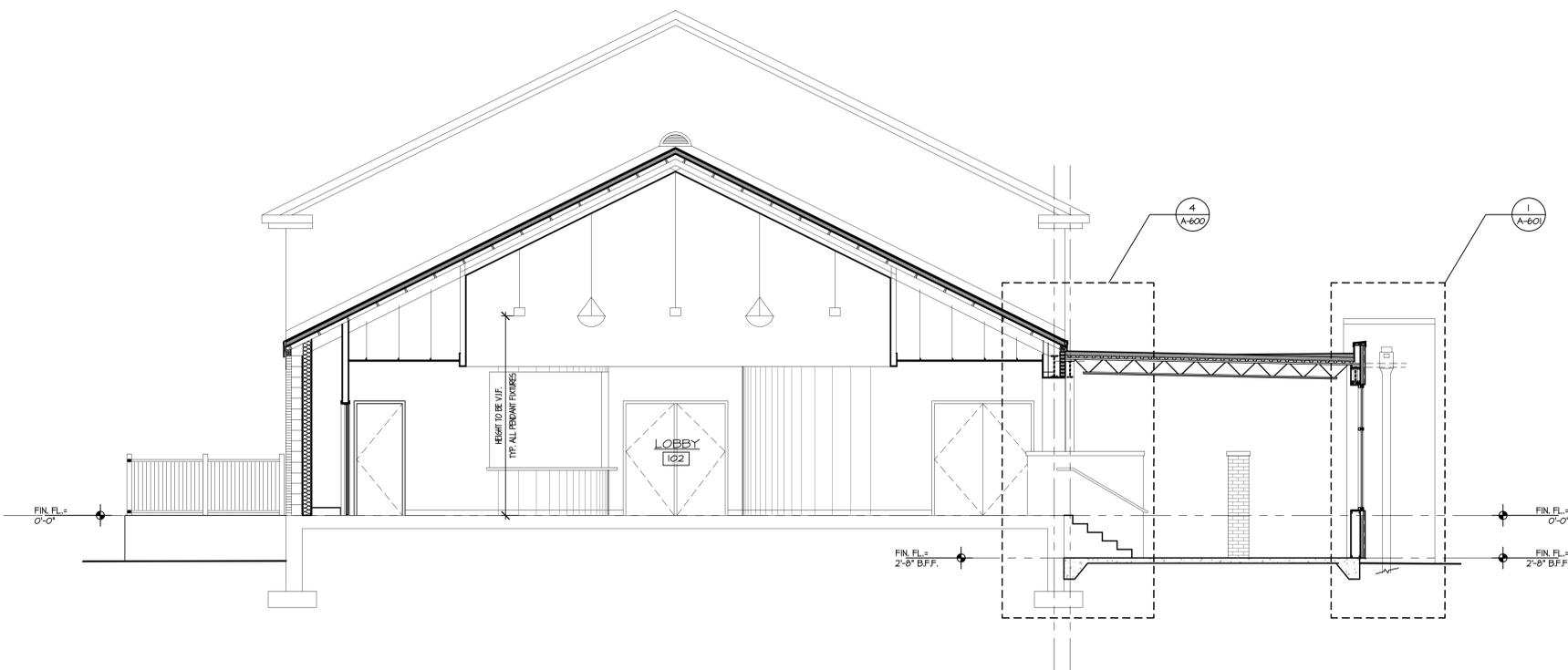
A-211

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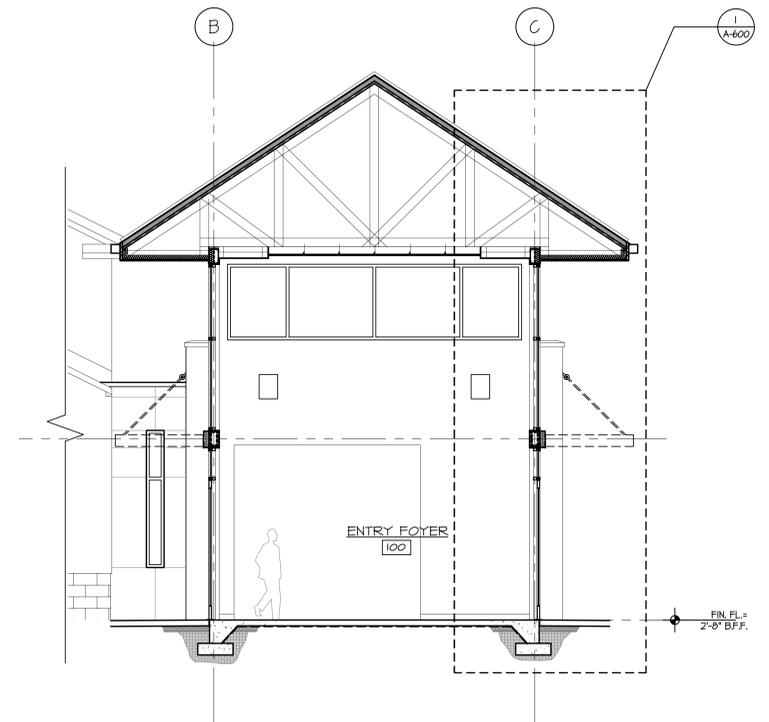
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3
A-211 BUILDING SECTION 1/4"=1'-0"



1
A-211 BUILDING SECTION 1/4"=1'-0"



2
A-211 BUILDING SECTION 1/4"=1'-0"